


The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.

Qualification information
 Required unless design is exempt under 3.2.4.1 of the building code.

Ramez Abunahla  34339
 Name: Signature Designer BCIN#

All Code references refer to Division 'B' of O.B.C 2012
 Antara BCIN#: 39389



1282 Dexter Crs Mississauga
 Tel: 416-602-9367
 antaradesignbuild@gmail.com
 www.antaradesignbuild.com

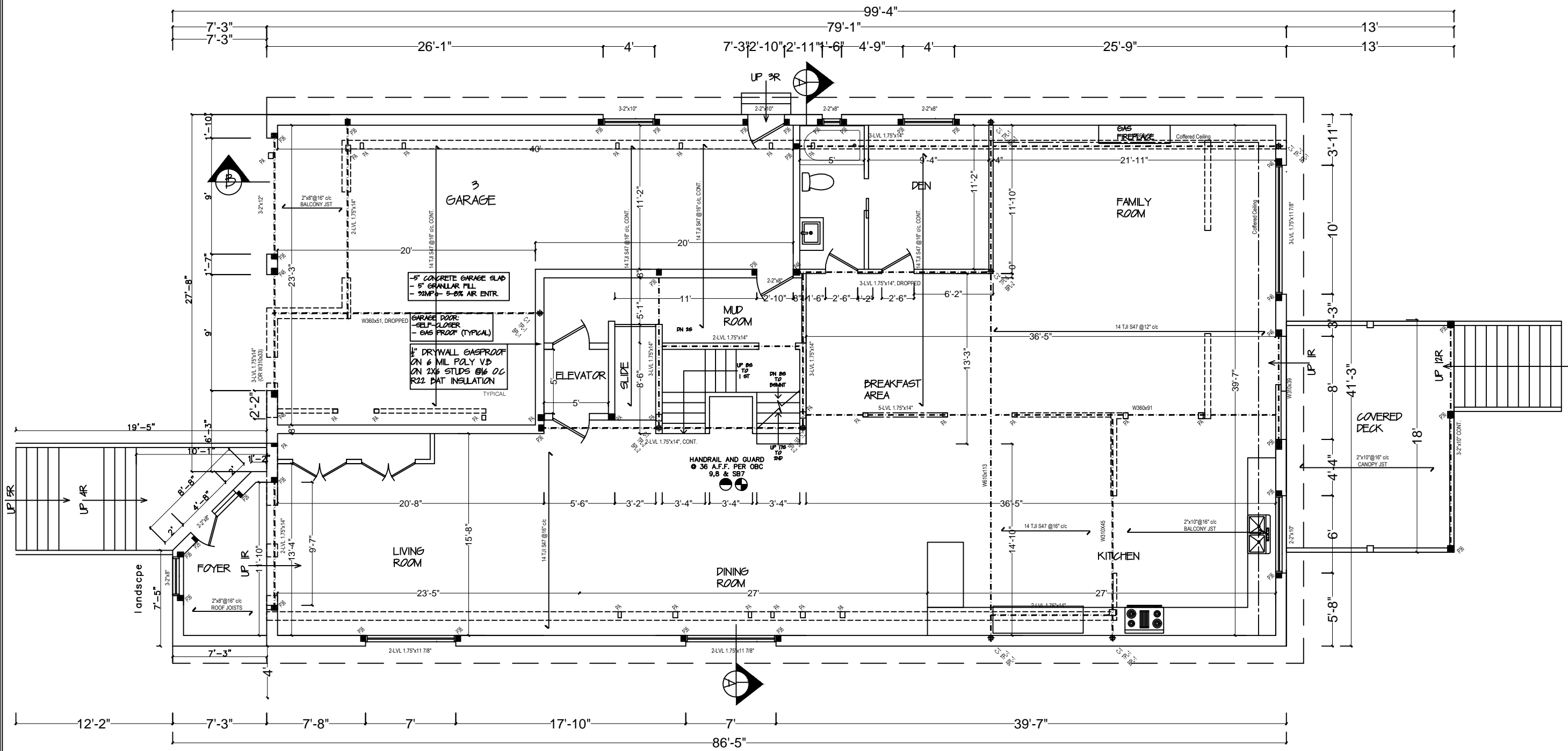
Drawings Title:
**Prop. Basement
 A03**

Scale: 1-1/8"
 Date: January 9, 2019

Project:
Prop. Detached house


Address: 3038 Franze DR
 Plan Registered: 375
 Lot: 6

No.	Date	Revision/Comment
1	June 16 2018	Building Permit



The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.

Qualification information
Required unless design is exempt under 3.2.4.1 of the building code.

Ramez Abunahla  34339
Name: Signature Designer BCIN#

All Code references refer to Division 'B' of O.B.C. 2012
Antara BCIN#: 39389



1282 Dexter Crs Mississauga
Tel: 416-602-9367
antaradesignbuild@gmail.com
www.antaradesignbuild.com

Drawings Title:
**Prop. First Floor
A04**

Scale: 1/8" = 1'-0"
Date: January 9, 2019

Project:
Prop. Detached house

Address: 3038 Franze DR
Plan Registered: 375
Lot: 6

No.	Date	Revision/Comment
1	June 16 2018	Building Permit

FOOTINGS HAVE BEEN DESIGNED FOR ASSUMED SOIL BEARING CAPACITY OF 150KPA WHICH SHALL BE CONFIRMED PRIOR FOOTINGS CONSTRUCTION.

ENERGY EFFICIENCY COMPLIANCE STANDARD SB-12 2.11. TABLE 2.11.2A

NOTE:
 1- CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE DESIGNER.
 2- ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

ALL ELECTRICAL PANELS & COMPONENTS TO COMPLY WITH OBC 9.34

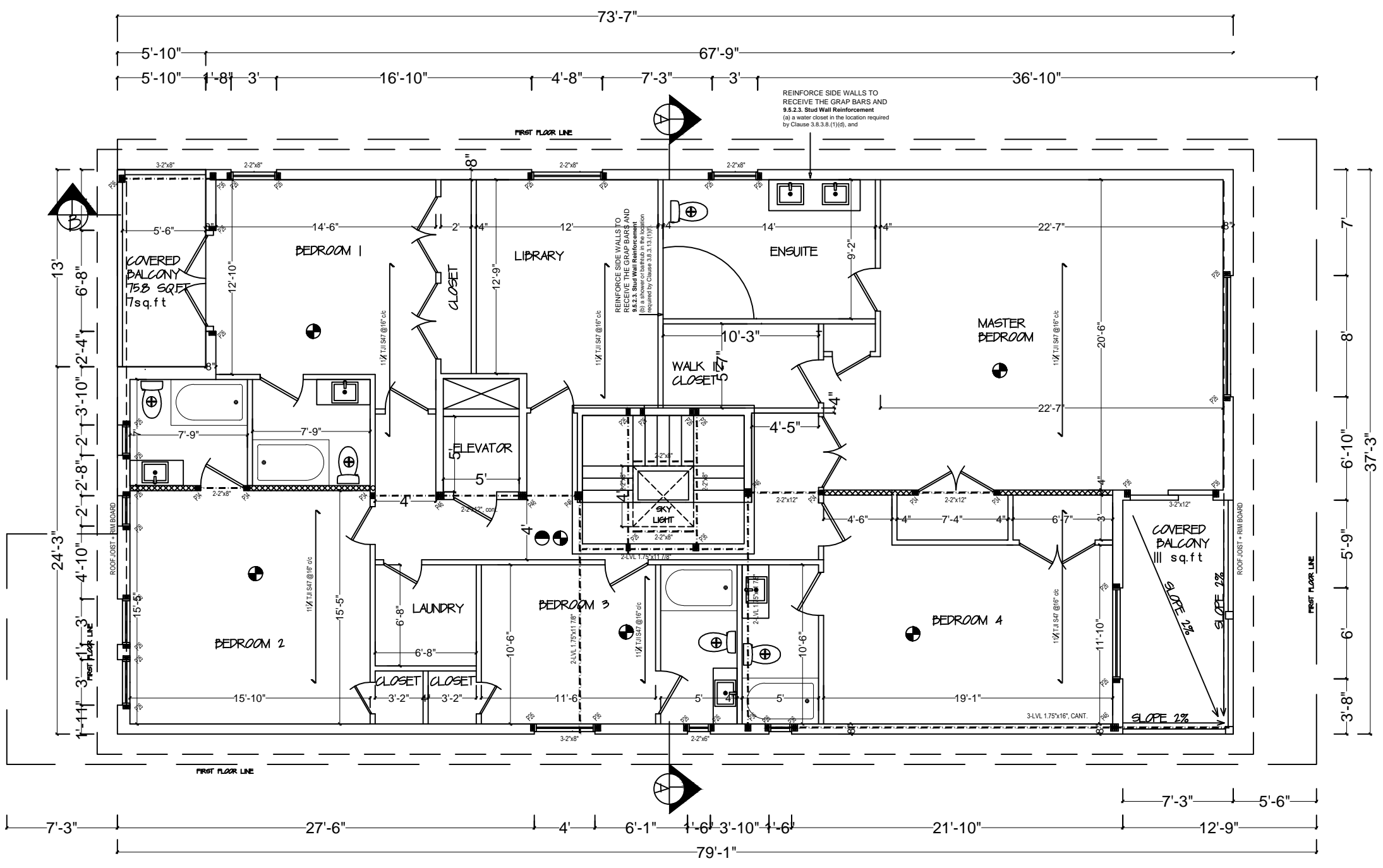
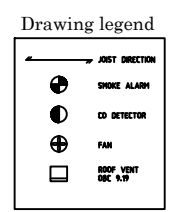
TYPICAL NON BEARING PARTITION 2x4 STUDS @16"OC & SINGLE BOTTOM PLATE PROVIDE 1/2" DRYWALL

ALL INTERIOR DOORS SIZE 30"X78" FOR THE BASEMENT 30"X84" FOR FIRST FLOOR 30"X96" FOR SECOND FLOOR 60" WIDE FOR CLOSET DOOR

WINDOWS TO COMPLY WITH(OBC.9.7.2.1) CAN/CSA-A44.1

GLASS SKYLIGHTS TO BE COMPLY (OBC. 9.7.7.2) REQUIREMENTS OF CAN/CSG-63.14-M

9.5.2.3. Stud Wall Reinforcement
 (1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of a grab bar on a wall adjacent to,
 (a) a water closet in the location required by Clause 3.8.3.8.(1)(d), and
 (b) a shower or bathtub in the location required by Clause 3.8.3.13.(1)(f).



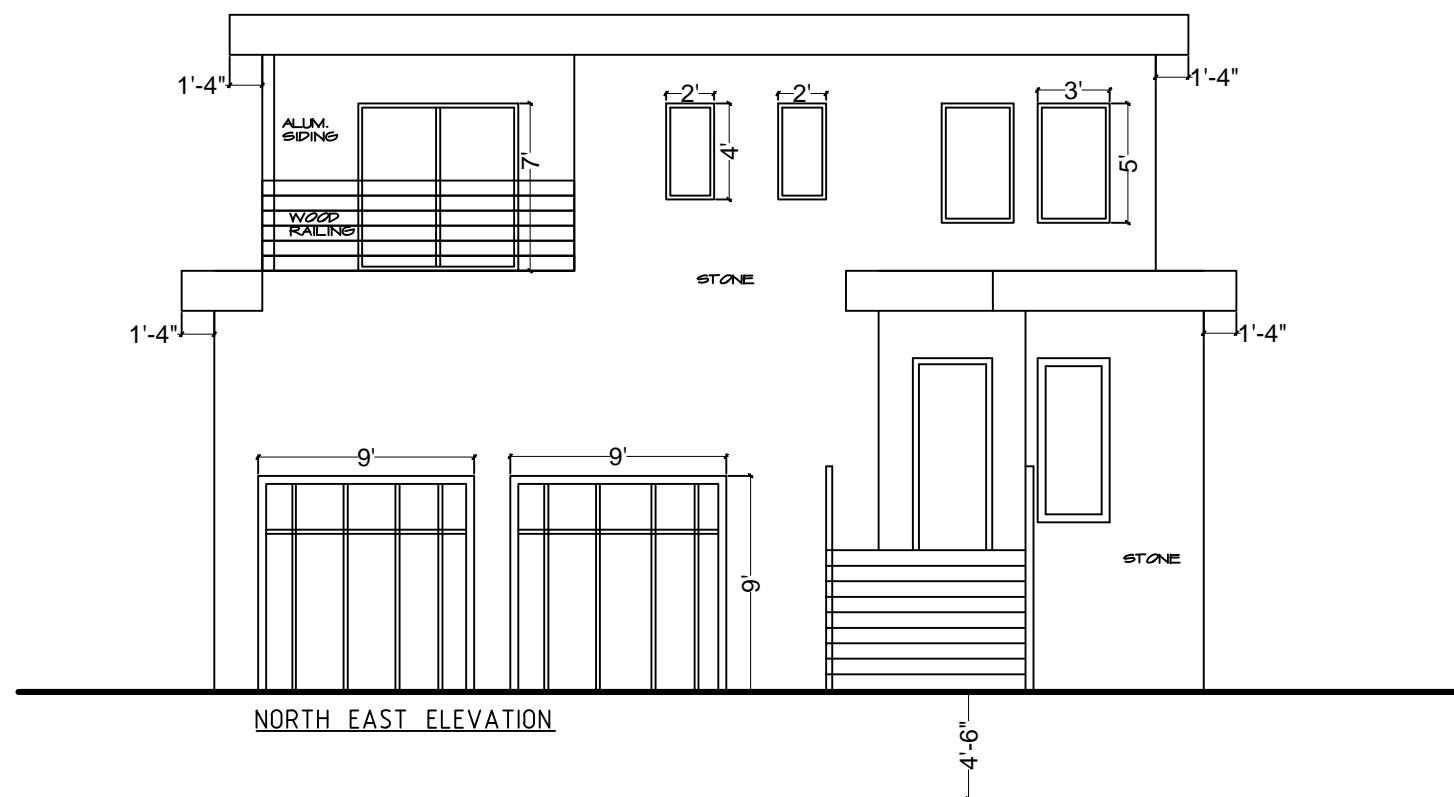
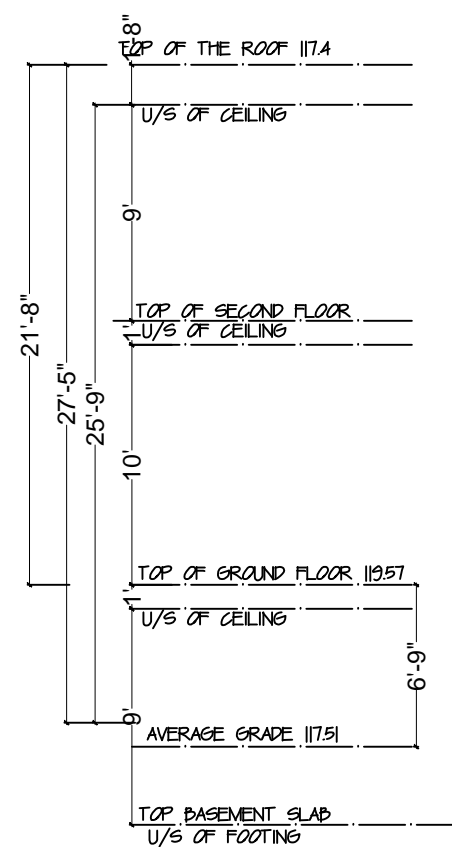
The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.
 Qualification information
 Required unless design is exempt under 3.2.4.1 of the building code.
 Ramez Abunaha [Signature] 34339
 Name: Signature Designer BCIN#
 All Code references refer to Division 'B' of O.B.C 2012
 Antara BCIN#: 39389

1282 Dexter Crs Mississauga
 Tel: 416-602-9367
 antaradesignbuild@gmail.com
 www.antaradesignbuild.com

Drawings Title:
Prop. Second Floor A05
 Scale: 1/8"
 Date: January 9, 2019

Project:
Prop. Detached house
 Address: 3038 Franze DR
 Plan Registered: 375
 Lot: 6

No.	Date	Revision/Comment
1	June 16 2018	Building Permit



NORTH EAST ELEVATION

FOOTINGS HAVE BEEN DESIGNED FOR ASSUMED SOIL BEARING CAPACITY OF 150KPA WHICH SHALL BE CONFIRMED PRIOR FOOTINGS CONSTRUCTION.

ENERGY EFFICIENCY COMPLIANCE STANDARD SB-12 2.11. TABLE 2.11.2A

NOTE:
1- CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE DESIGNER.
2- ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

ALL ELECTRICAL PANELS & COMPONENTS TO COMPLY WITH OBC 9.34

TYPICAL NON BEARING PARTITION
2x4 STUDS @16" O/C & SINGLE BOTTOM PLATE
PROVIDE 1/2" DRYWALL

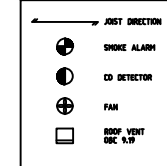
ALL INTERIOR DOORS SIZE
30"X84" FOR THE BASEMENT
36"X84" FOR FIRST FLOOR
60" WIDE FOR CLOSET DOOR

WINDOWS TO COMPLY WITH OBC 9.7.2.1)
CAN/CSA-A44.1

GLASS SKYLIGHTS TO BE COMPLY (OBC 9.7.7.2)
REQUIREMENTS OF CAN/CGSB-63.14-M

9.5.2.3. Stud Wall Reinforcement
(1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of a grab bar on a wall adjacent to,
(a) a water closet in the location required by Clause 3.8.3.8.(1)(d), and
(b) a shower or bathtub in the location required by Clause 3.8.3.13.(1)(f).

Drawing legend



The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.
Qualification information
Required unless design is exempt under 3.2.4.1 of the building code.
Ramez Abunahla [Signature] 34339
Name: Signature Designer BCIN#
All Code references refer to Division 'B' of O.B.C 2012
Antara BCIN#: 39389

1282 Dexter Crs Mississauga
Tel: 416-602-9367
antaradesignbuild@gmail.com
www.antaradesignbuild.com

Drawings Title:
**Prop. North East Elev.
A07**
Scale: 1-1/8"
Date: January 9, 2019

Project:
Prop. Detached house
Address: 3038 Franze DR
Plan Registered: 375
Lot: 6

1	June 16 2018	Building Permit
No.	Date	Revision/Comment

FOOTINGS HAVE BEEN DESIGNED FOR ASSUMED SOIL BEARING CAPACITY OF 150KPA WHICH SHALL BE CONFIRMED PRIOR FOOTINGS CONSTRUCTION.

ENERGY EFFICIENCY COMPLIANCE STANDARD SP-12 2.11. TABLE 2.11.2A

NOTE:
 1- CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE DESIGNER.
 2- ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

ALL ELECTRICAL PANELS & COMPONENTS TO COMPLY WITH OBC 9.34

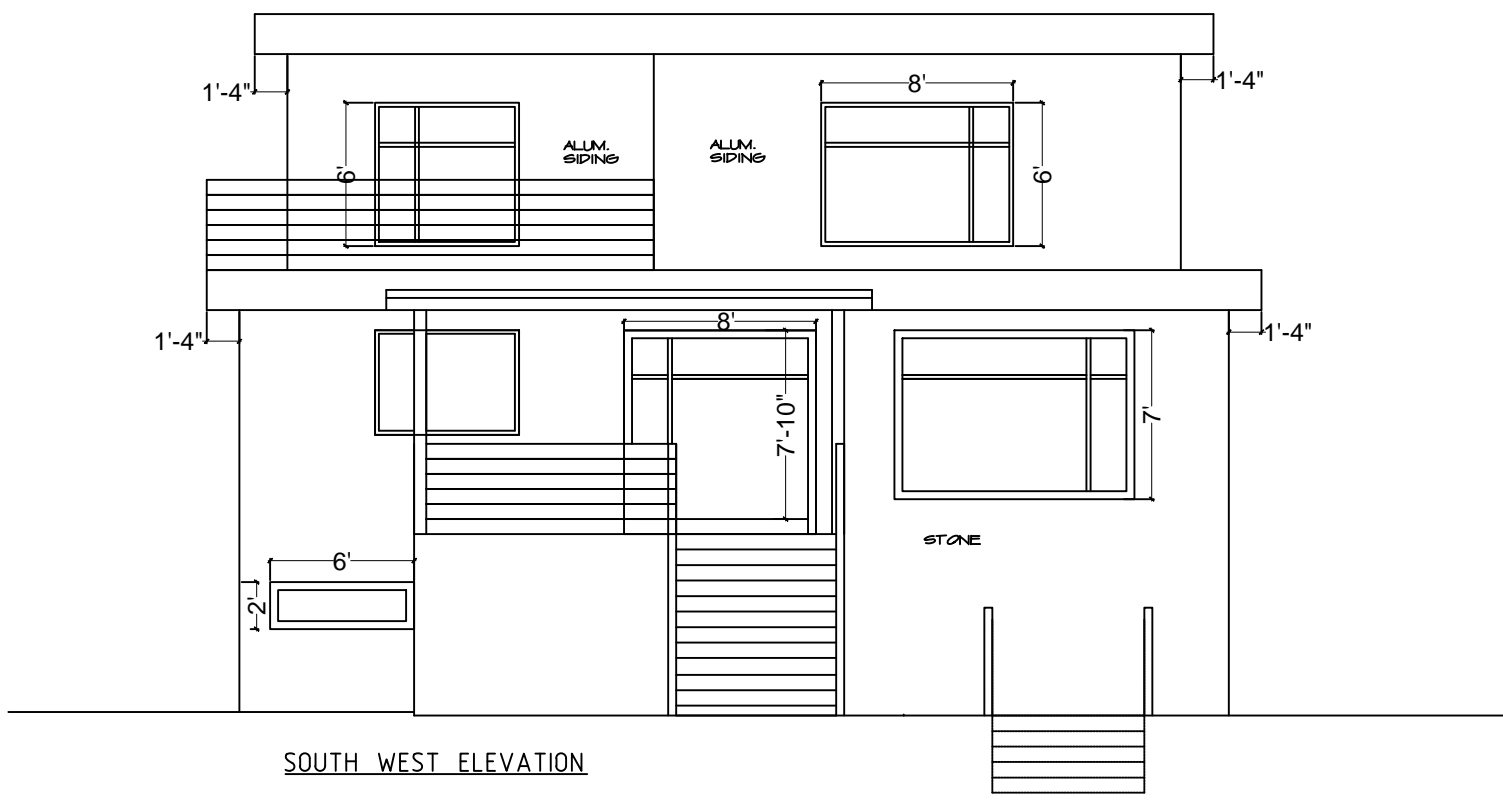
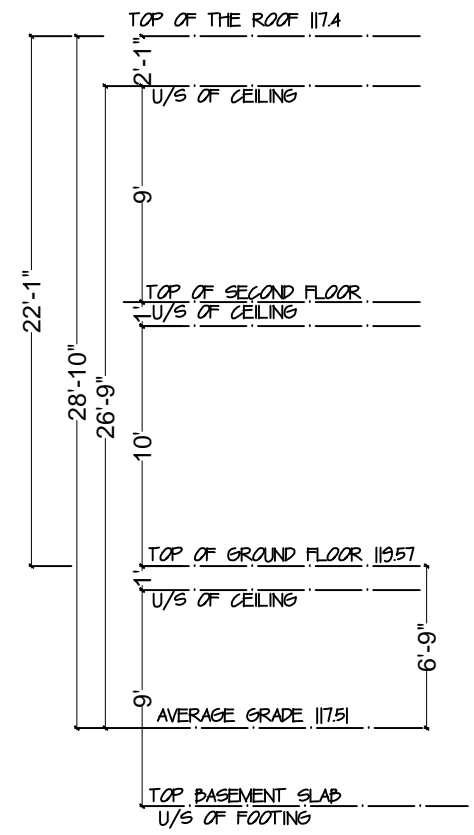
TYPICAL NON BEARING PARTITION
 2x4 STUDS @16" O/C & SINGLE BOTTOM PLATE
 PROVIDE 1/2" DRYWALL

ALL INTERIOR DOORS SIZE
 30"X84" FOR THE BASEMENT
 36"X84" FOR FIRST FLOOR
 36"X96" FOR SECOND FLOOR
 60" WIDE FOR CLOSET DOOR

WINDOWS TO COMPLY WITH(OBC.9.7.2.1)
 CAN/CSA-A44.1

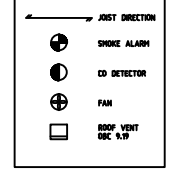
GLASS SKYLIGHTS TO BE COMPLY (OBC. 9.7.7.2) REQUIREMENTS OF CAN/CGSB-63.14-M

9.5.2.3. Stud Wall Reinforcement
 (1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of a grab bar on a wall adjacent to,
 (a) a water closet in the location required by Clause 3.8.3.8.(1)(d), and
 (b) a shower or bathtub in the location required by Clause 3.8.3.13.(1)(f).



SOUTH WEST ELEVATION

Drawing legend



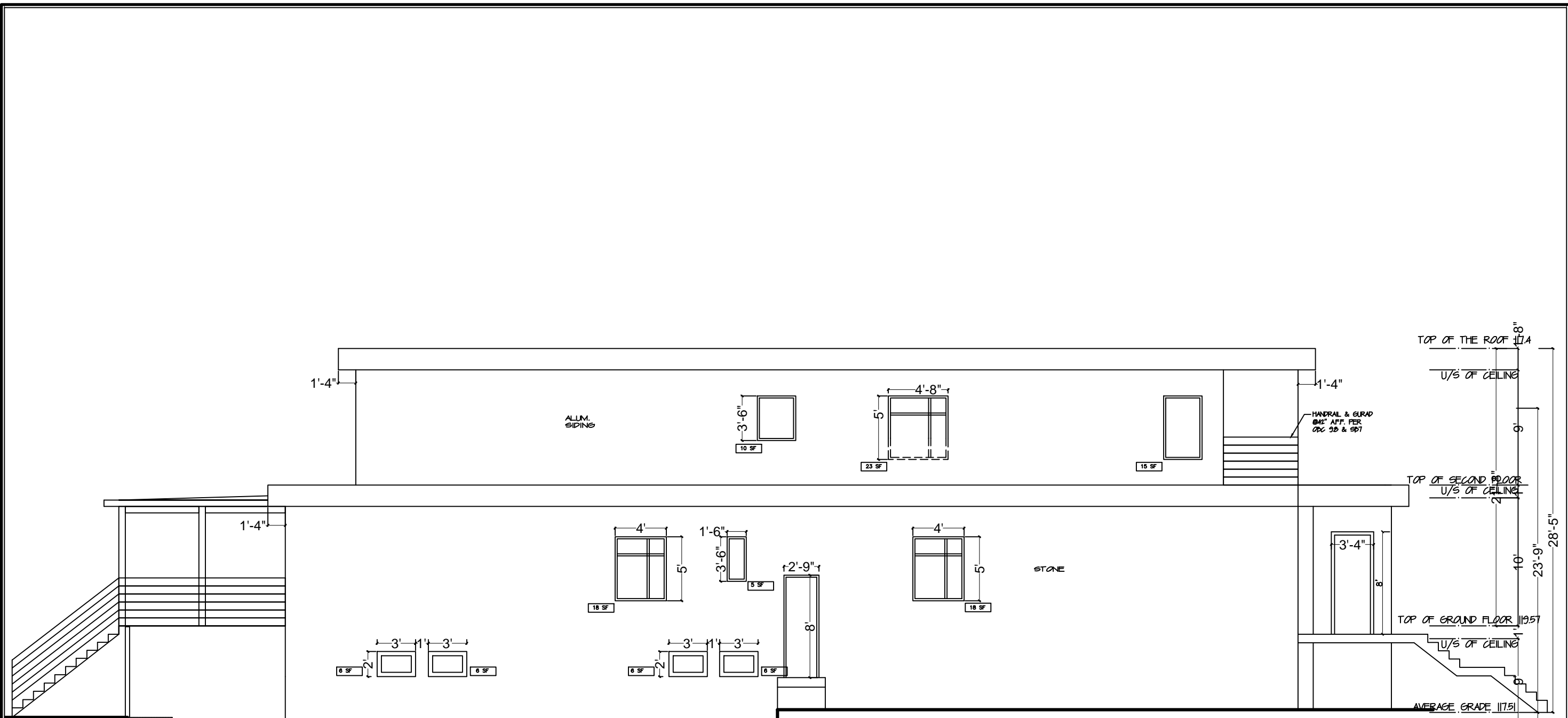
The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the ontario building code 2012 to be a designer.
 Qualification information
 Required unless design is exempt under 3.2.4.1 of the building code.
 Ramez Abunahla [Signature] 34339
 Name: Signature Designer BCIN#
 All Code references refer to Division 'B' of O.B.C 2012
 Antara BCIN#: 39389

1282 Dexter Crs Mississauga
 Tel: 416-602-9367
 antaradesignbuild@gmail.com
 www.antaradesignbuild.com

Drawings Title:
Prop. South West Elev.
Ao8
 Scale: 1-1/8"
 Date: January 9, 2019

Project:
Prop. Detached house
 Address: 3038 Franze DR
 Plan Registered: 375
 Lot: 6

No.	Date	Revision/Comment
1	June 16 2018	Building Permit



SOUTH EAST ELEVATION

LIMITING DISTANCE CALCULATION	
WALL AREA	1913 SQ.FT
OPENING ALLOWED	7%
OPENING ALLOWED	134 SQ.FT
OPENING PROPOSED	113 SQ.FT

The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.

Qualification information
Required unless design is exempt under 3.2.4.1 of the building code.

Name: Ramez Abunahla
Signature: [Signature]
Designer BCIN#: 34339

All Code references refer to Division 'B' of O.B.C 2012
Antara BCIN#: 39389

1282 Dexter Crs Mississauga
Tel: 416-602-9367
antaradesignbuild@gmail.com
www.antaradesignbuild.com

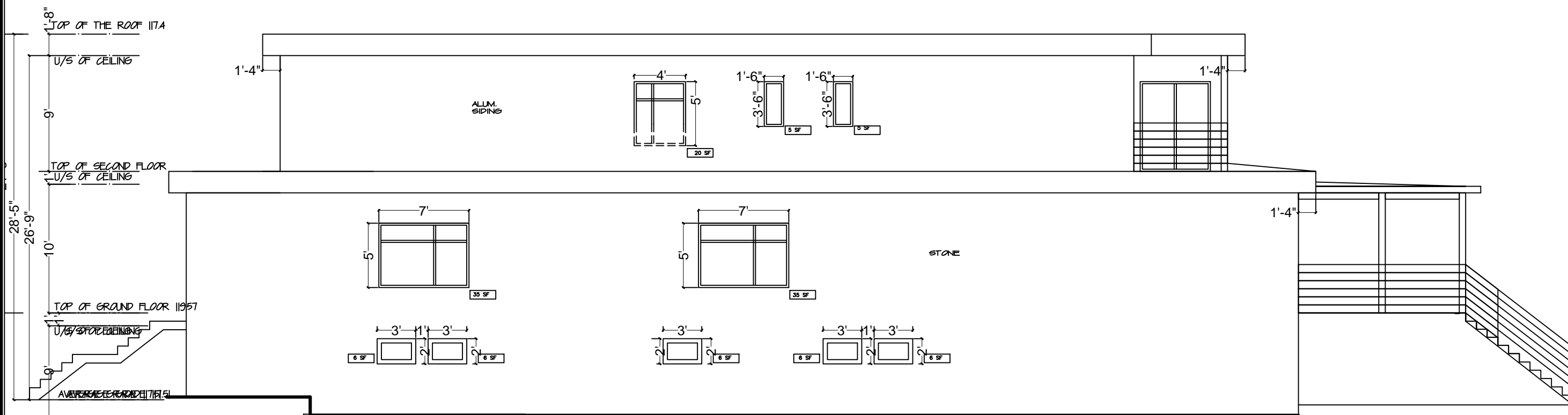
Drawings Title:
**Prop. South East Elev.
Aog**

Scale: 1-1/8"
Date: January 9, 2019

Project:
Prop. Detached house

Address: 3038 Franze DR
Plan Registered: 375
Lot: 6


No.	Date	Revision/Comment
1	June 16 2018	Building Permit



LIMITING DISTANCE CALCULATION	
WALL AREA	1969 SQ.FT
OPENING ALLOWED	7%
OPENING ALLOWED	138 SQ.FT
OPENING PROPOSED	132 SQ.FT

The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.

Qualification information
 Required unless design is exempt under 3.2.4.1 of the building code.

Name: Ramez Abunahla Signature:  Designer BCIN#: 34339

All Code references refer to Division 'B' of O.B.C 2012 Antara BCIN#: 39389



1282 Dexter Crs Mississauga
 Tel: 416-602-9367
 antaradesignbuild@gmail.com
 www.antaradesignbuild.com

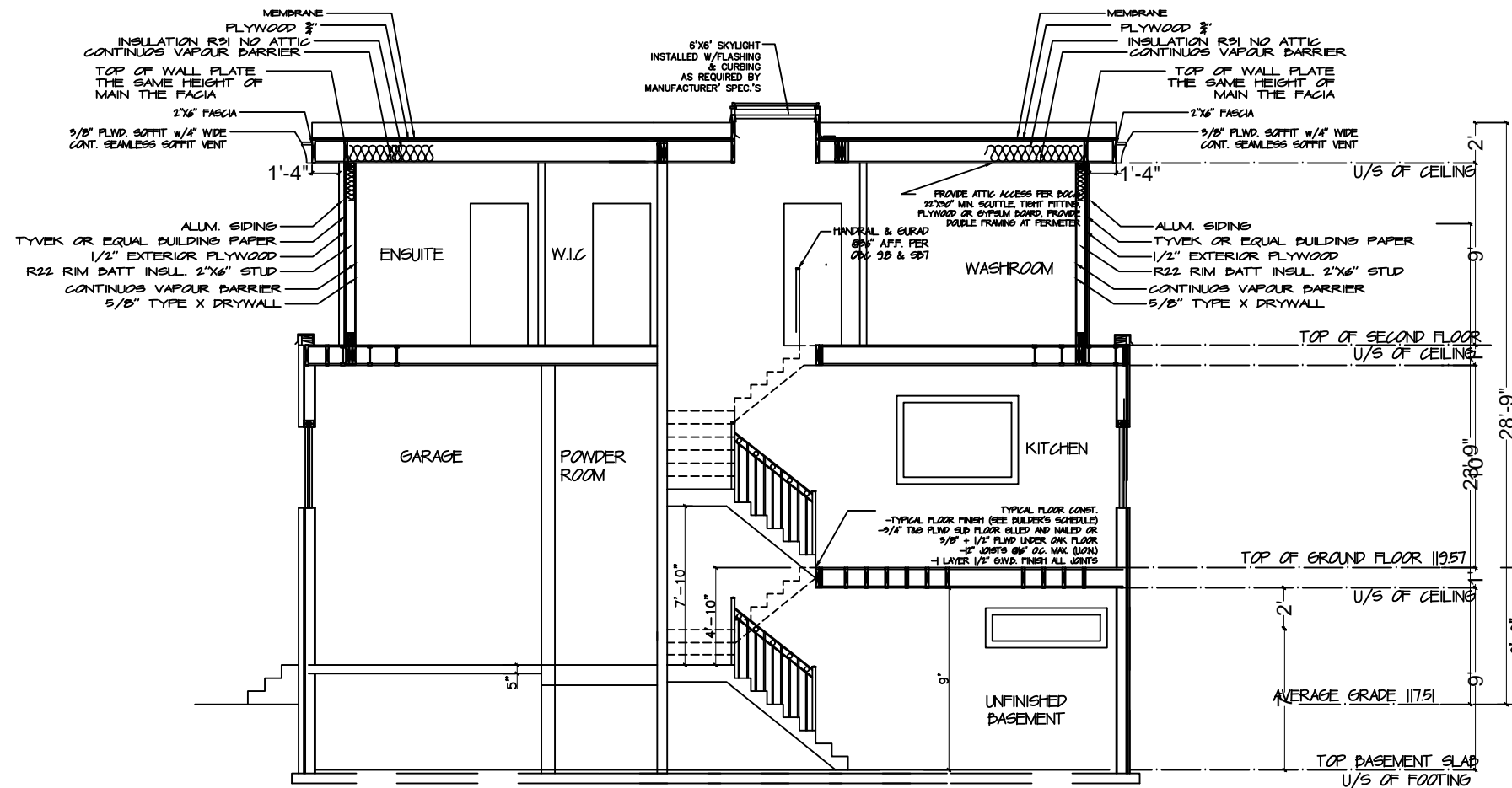
Drawings Title:
**Prop. North West Elev.
 A10**

Scale: 1-1/8"
 Date: January 9, 2019

Project:
Prop. Detached house

Address: 3038 Franze DR
 Plan Registered: 375
 Lot: 6

No.	Date	Revision/Comment
1	June 16 2018	Building Permit



SECTION A-A

The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.

Qualification information
Required unless design is exempt under 3.2.4.1 of the building code.

Name: Ramez Abunaha Signature Designer BCIN# 34339

All Code references refer to Division 'B' of O.B.C 2012 Antara BCIN#: 39389



1282 Dexter Crs Mississauga
Tel: 416-602-9367
antaradesignbuild@gmail.com
www.antaradesignbuild.com

Drawings Title:

Section A-A
A12

Scale: 1-1/8"

Date: January 9, 2019

Project:

Prop. Detached house

Address: 3038 Franze DR
Plan Registered: 375
Lot: 6

No.	Date	Revision/Comment
1	June 16 2018	Building Permit