

NW CORNER  
LOT 29, COM. A

RESULTANT TIE AS SHOWN ON PLAN 19R-4102

CONCESSION A  
TOWNSHIP OF RIDOUT  
DISTRICT MUNICIPALITY OF MUSKOKA

BOBCAYGEON ROAD  
ORIGINAL ROAD ALLOWANCE

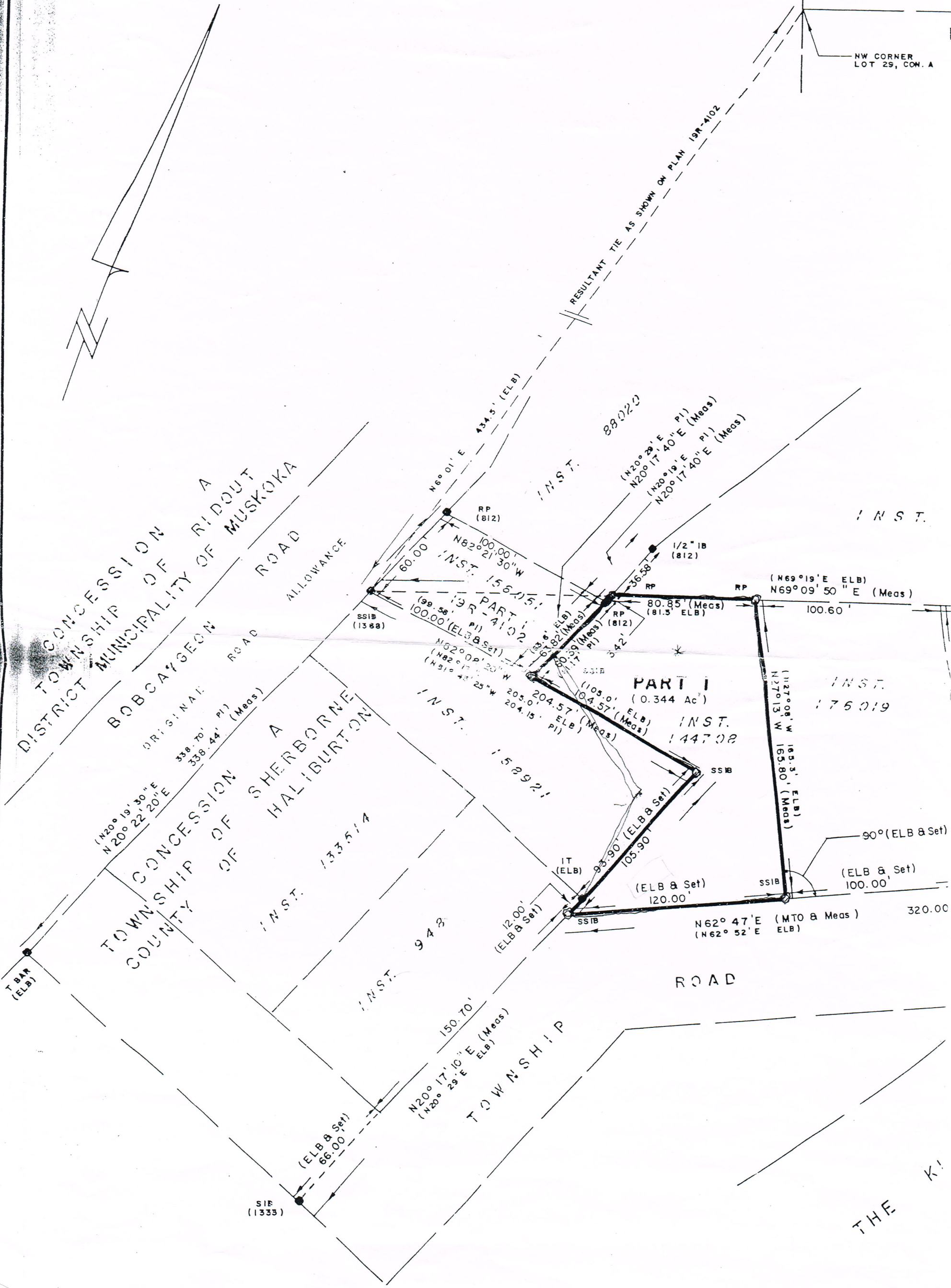
CONCESSION A  
TOWNSHIP OF  
COUNTY OF HALIBURTON

PART I  
(0.344 Ac)  
INST. 144702

INST. 176019

ROAD

THE K!



T.B.M. (ELB)

S.I.F. (1333)

SSIB (1388)

RP (812)

1/2" IB (812)

RP (812)

RP (812)

SSIB

SSIB

SSIB

SSIB

IT (ELB)

(ELB & Set)

(ELB & Set)

(ELB & Set)

90° (ELB & Set)

(N20°19'30"E  
N20°22'20"E)

(N20°02'20"W  
N82°17'10"E  
N82°42'25"W)

(N20°02'20"W  
N82°17'10"E  
N82°42'25"W)

(N20°21'30"W  
N82°21'30"W)

(N20°21'30"W  
N82°21'30"W)

(N20°17'40"E  
N20°19'E  
N20°17'40"E)

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NW CORNER  
LOT 29, COM. A

RESULTANT TIE AS SHOWN ON PLAN 19R-4102

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DISTRICT MUNICIPALITY OF MUSKOKA

BOBCAYGEON ROAD  
ORIGINAL ROAD ALLOWANCE

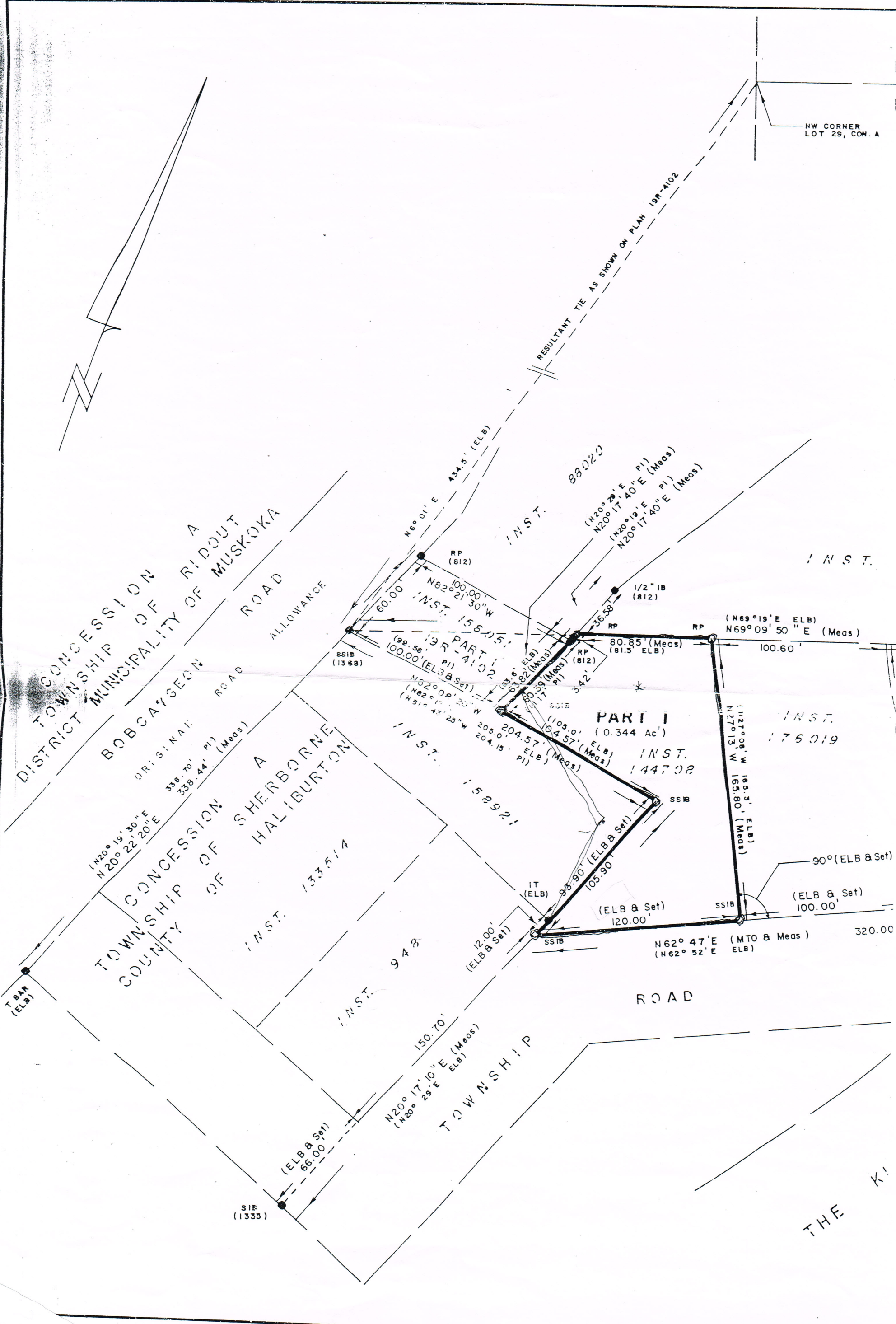
CONCESSION A  
TOWNSHIP OF  
COUNTY OF HALIBURTON

PART I  
(0.344 Ac)  
INST. 144702

INST. 176019

ROAD

THE K!



RP (812)

88020

INST.

SSIB (1388)

INST. 156015

1/2" IB (812)

RP (N69°19'E ELB)  
N69°09'50" E (Meas)  
100.60'

(N20°19'30"E  
N20°22'20"E

338.70' PI)  
338.44' (Meas)

INST. 152921

152921

INST. 176019  
(N127°08'W 165.3' ELB)  
N27°13'W 165.80' (Meas)

IT (ELB)

(ELB & Set)  
120.00'

(ELB & Set)  
100.00'

N62°47'E (MTO & Meas)  
N62°52'E ELB

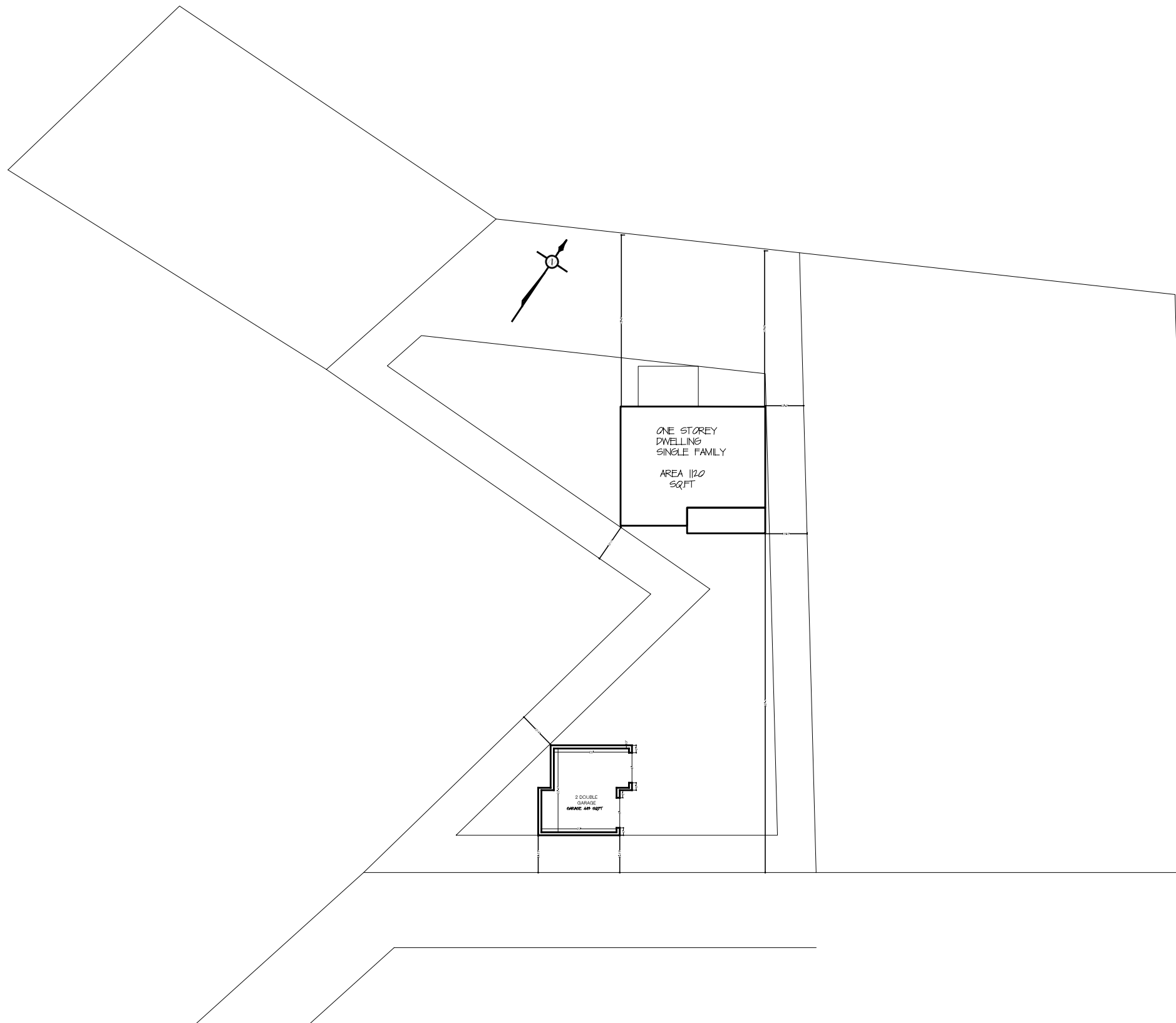
320.00'

150.70'  
N20°17'10"E (Meas)  
N20°29'E ELB

TOWNSHIP

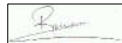
S.I.F. (1333)

(ELB & Set)  
66.00'



The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.

Qualification information  
 Required unless design is exempt under 3.2.4.1 of the building code.

Ramez Abunahla  34339  
 Name: Signature Designer BCIN#

All Code references refer to Division 'B' of O.B.C 2012  
 Antara BCIN#: 39389



1051 Seneca Ave, Mississauga  
 Tel: 416-602-9367  
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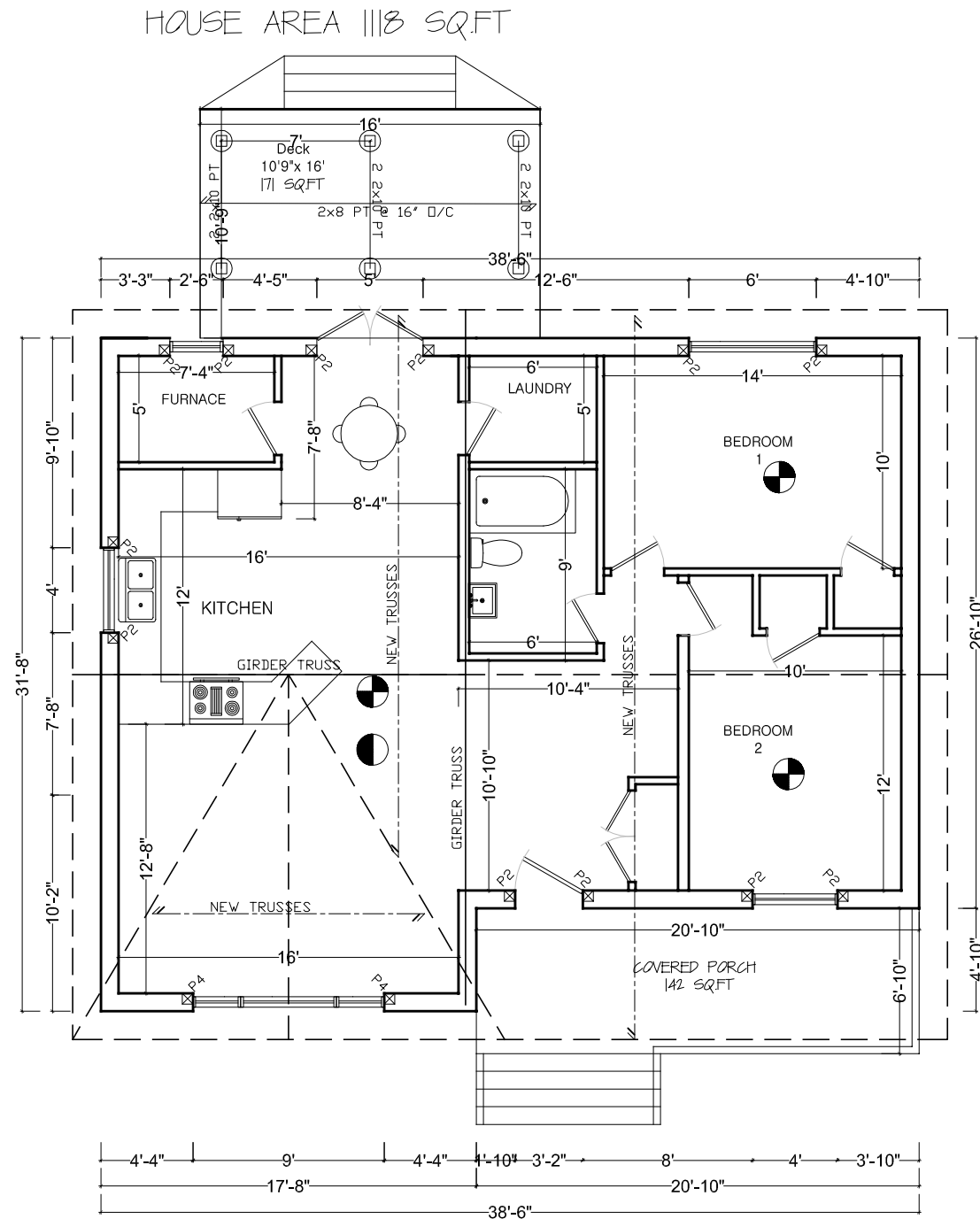
Drawings Title:  
**Grading**  
 A 00

Scale: 1/32"  
 Date: May 9, 2016

Project:  
**Keller Resident**

Address: 1029 Bonfield St  
 Plan Registered: CONCESSION A  
 Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit



**SCHEDULES**

WOOD LINTELS	WOOD BEAMS
L1 2-2X6	B1 4-2X8
L2 2-2X8	B2 3-2X10
L3 2-2X10	B3 4-2X10
L4 2-2X12	B4 2-9.25" LVL
L5 3-2X8	B5 3-9.25" LVL
L6 3-2X10	B6 1-11.92" LVL
L7 3-2X12	B7 2-11.92" LVL
L8 2-7.25	B8 3-11.92" LVL

**COLUMNS/ POSTS**

P2 2-2X6	P5 2-2X4
P3 3-2X6	P6 3-2X4
P4 4-2X6	P7 4-2X4
C1 HSS 3.5"x3.5"x0.25"	12"
BRG.PL. 6" X 3/4" X 10" A.B. 2-5/8" DIA.	3"
C2 HSS 4"x4"x0.312"	12"
BRG.PL. 10" X 3/4" X 10" A.B. 2-3/4" DIA.	3"
C3 HSS 5"x5"x1/4"	

Steel Post with 1/2" THK. steel plates providing Min. 5" Bearing

**STEEL LINTELS**

WL1 3.5" X 3.5" X 1/4"
WL2 4" X 3.5" X 1/4"
WL3 5" X 3.5" X 5/16"

**STEEL PLATES**

WP1 8" X 3/4" X 10" + 2-5/8" ANCH.BOLT	8" L2
WP2 8" X 3/4" X 11" + 2-5/8" ANCH.BOLT	

**CONCRETE FOOTINGS**

F1 16" X 16" X 12" DEEP
F2 30" X 30" X 16" DEEP
F3 42" X 42" X 20" DEEP 6-15 BEW
F4 48" X 48" X 24" DEEP 7-15 BEW

>STRIP FOOTINGS BELOW LOADBEARING WALLS TO HAVE A 6" PROJECTION & BE MINIMUM 8" DEPTH  
 >ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL, OR ENGINEERED FILL CERTIFIED BY SOILS ENGINEER  
 >MIN. SOIL BRG. CAPACITY = 2500 PSF TO BE VERIFIED BY SOILS ENGINEER

ENERGY EFFICIENCY COMPLIANCE  
 STANDARD 90-12.2.11 TABLE 2.11.2A

NOTE:  
 1- CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE DESIGNER.  
 2- ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

ALL ELECTRICAL PANELS & COMPONENTS TO COMPLY WITH OBC 9.3.4

TYPICAL NON BEARING PARTITION  
 2x4 STUDS @16" O.C. & SINGLE BOTTOM PLATE  
 PROVIDE 1/2" DRYWALL

ALL INTERIOR DOORS SIZE  
 36"X66" FOR THE BASEMENT  
 36"X80" FOR FIRST FLOOR  
 36"X80" FOR SECOND FLOOR  
 60" WIDE FOR CLOSET DOOR

WINDOWS TO COMPLY WITH OBC 9.7.2.1) CAN/CSA-A44.1

GLASS SKYLIGHTS TO BE COMPLY OBC 9.7.7.2) REQUIREMENTS OF CAN/CSA-B-63.14-M

**Drawing legend**

	JOIST DIRECTION
	SMOKE ALARM
	CO DETECTOR
	FAN
	ROOF VENT OBC 9.19

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Qualification information

Required unless design is exempt under 3.2.4.1 of the building code.

Ramez Abunahla  
 Name: Signature Designer BCIN# 34339

All Code references refer to Division 'B' of O.B.C 2012  
 Antara BCIN#: 39389



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 Tel: 416-602-9367  
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Drawings Title:

**FIRST FLOOR  
 A 01**

Scale: 1/1/32"

Date: May 9, 2016

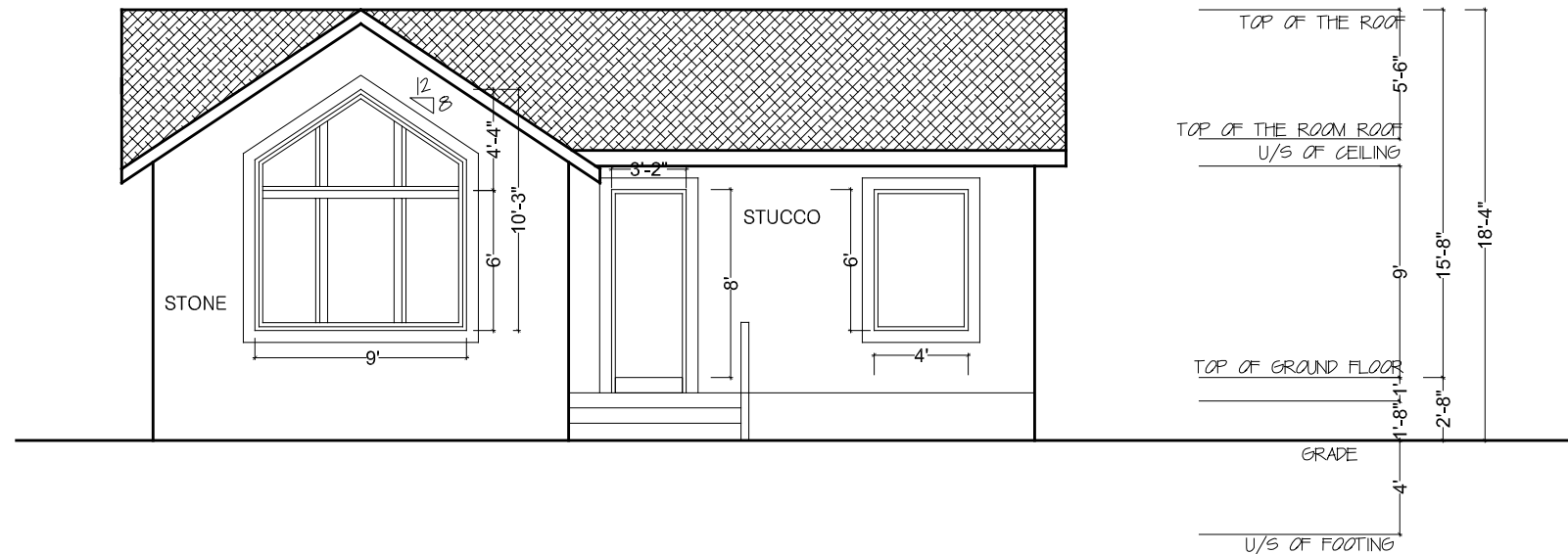
Project:

**Keller Resident**

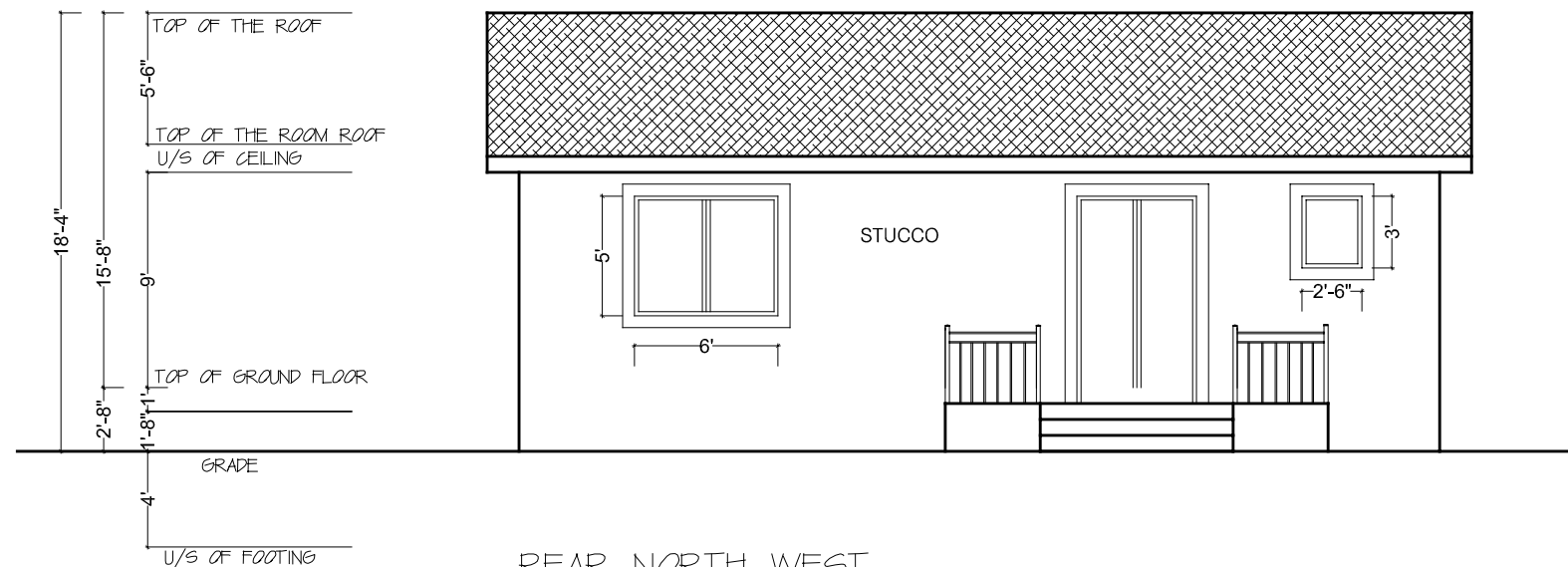
Address: 1029 bonfield st  
 Plan Registered: CONCESSION A  
 Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit





SOUTH EAST ELEVATION



REAR NORTH WEST ELEVATION

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All Code references refer to Division 'B' of O.B.C 2012

Antara BCIN#: 39389



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Drawings Title:

FRONT & REAR ELEV.  
A 03

Scale: 1/32"

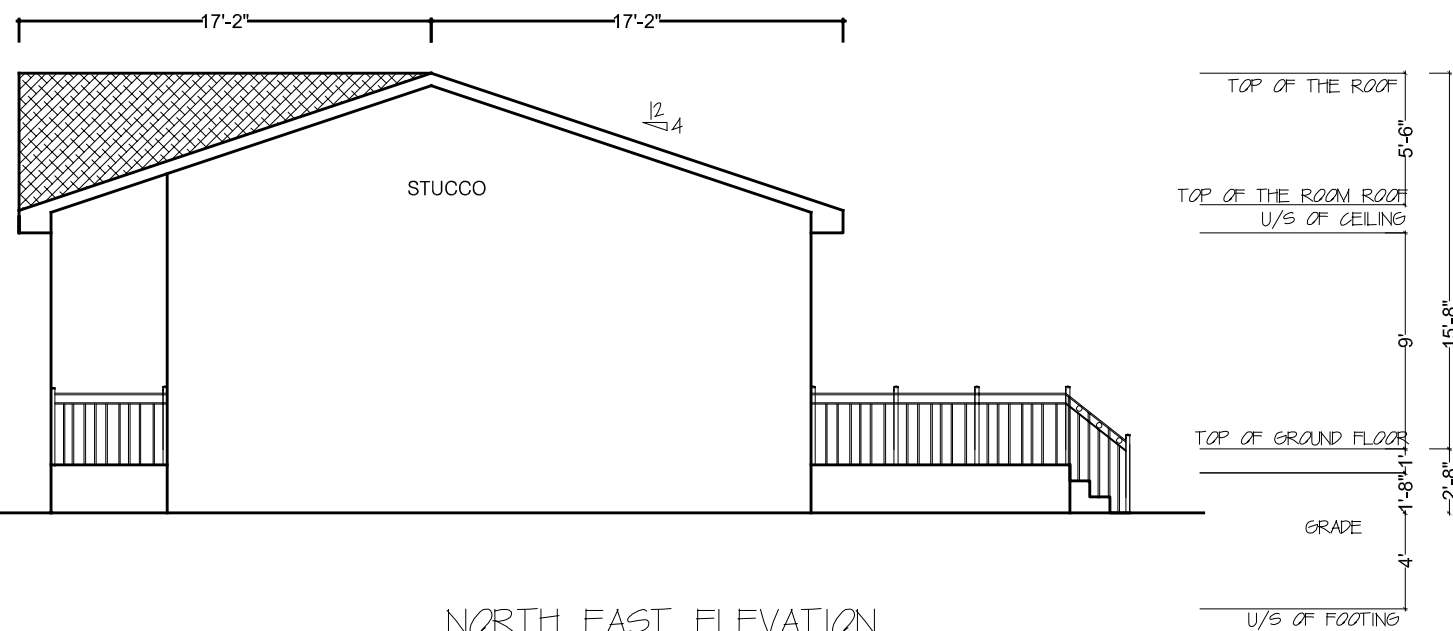
Date: May 9, 2016

Project:

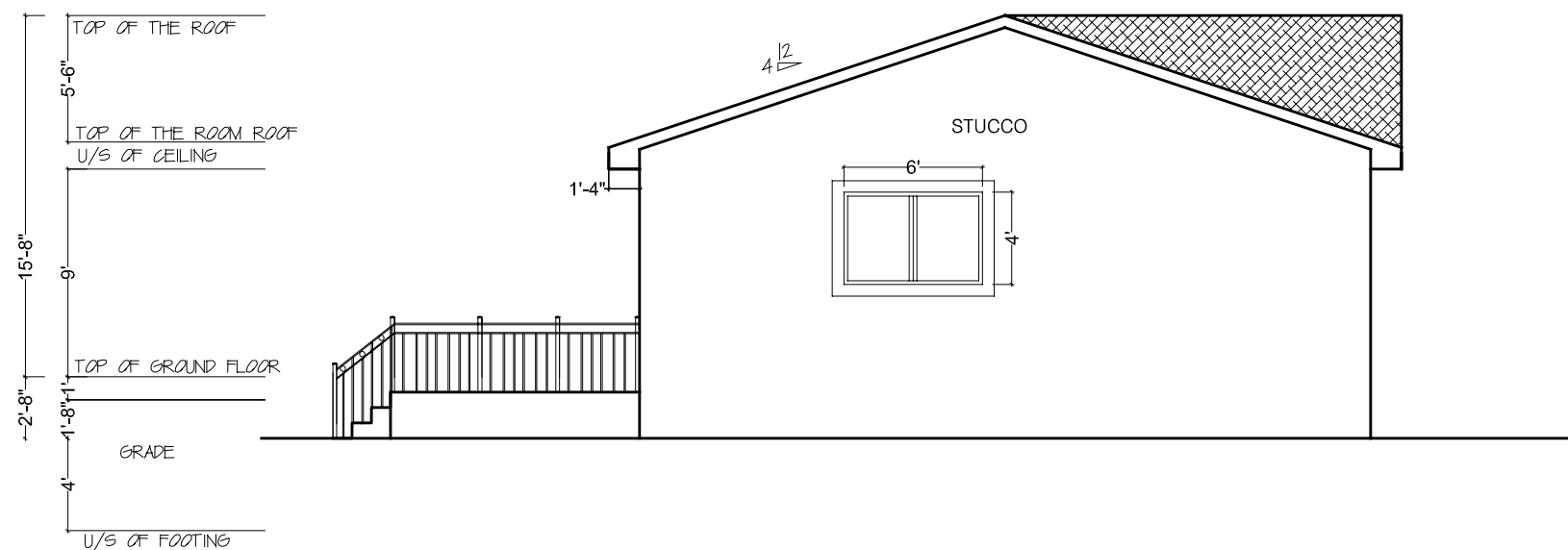
Keller Resident

Address: 1029 Bonfield St  
Plan Registered: CONCESSION A  
Lot: 107

No.	Date	Revision/Comment
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NORTH EAST ELEVATION



SOUTH WEST ELEVATION

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Name: Signature Designer BCIN# 34339

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Antara BCIN#: 39389

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Drawings Title:  
**SIDES ELEVATIONS**  
**A 04**

Scale: 1/32"  
Date: May 9, 2016

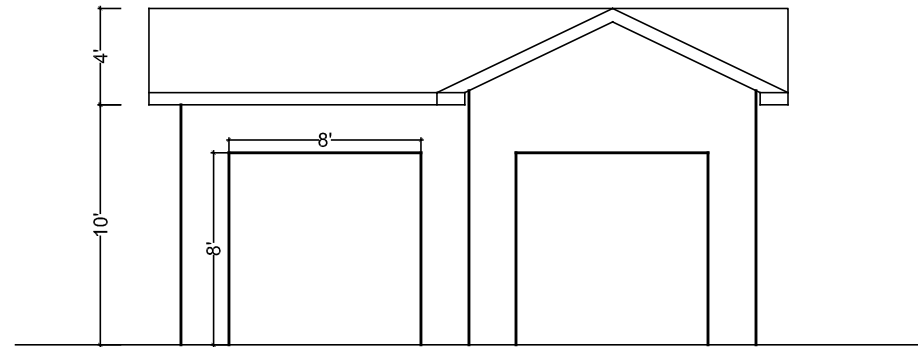
Project:  
**Keller Resident**

Address: 1029 bonfield st  
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Lot: 107

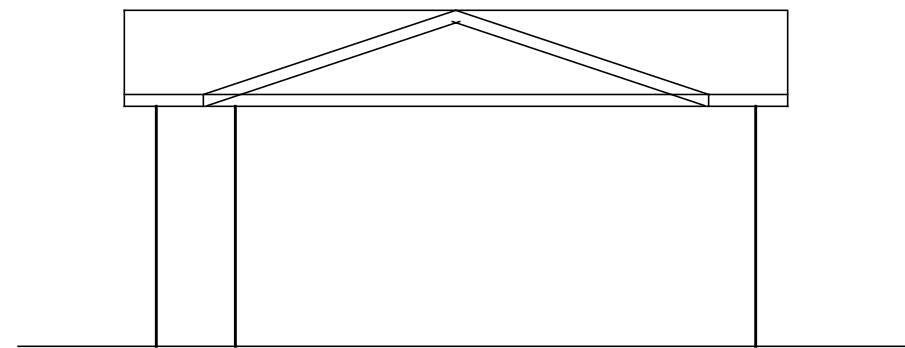
No.	Date	Revision/Comment
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WEST ELEVATION



EAST ELEVATION

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Ramez Abunahla  34339  
Name: Signature Designer BCIN#

All Code references refer to Division 'B' of O.B.C. 2012  
Antara BCIN#: 39389

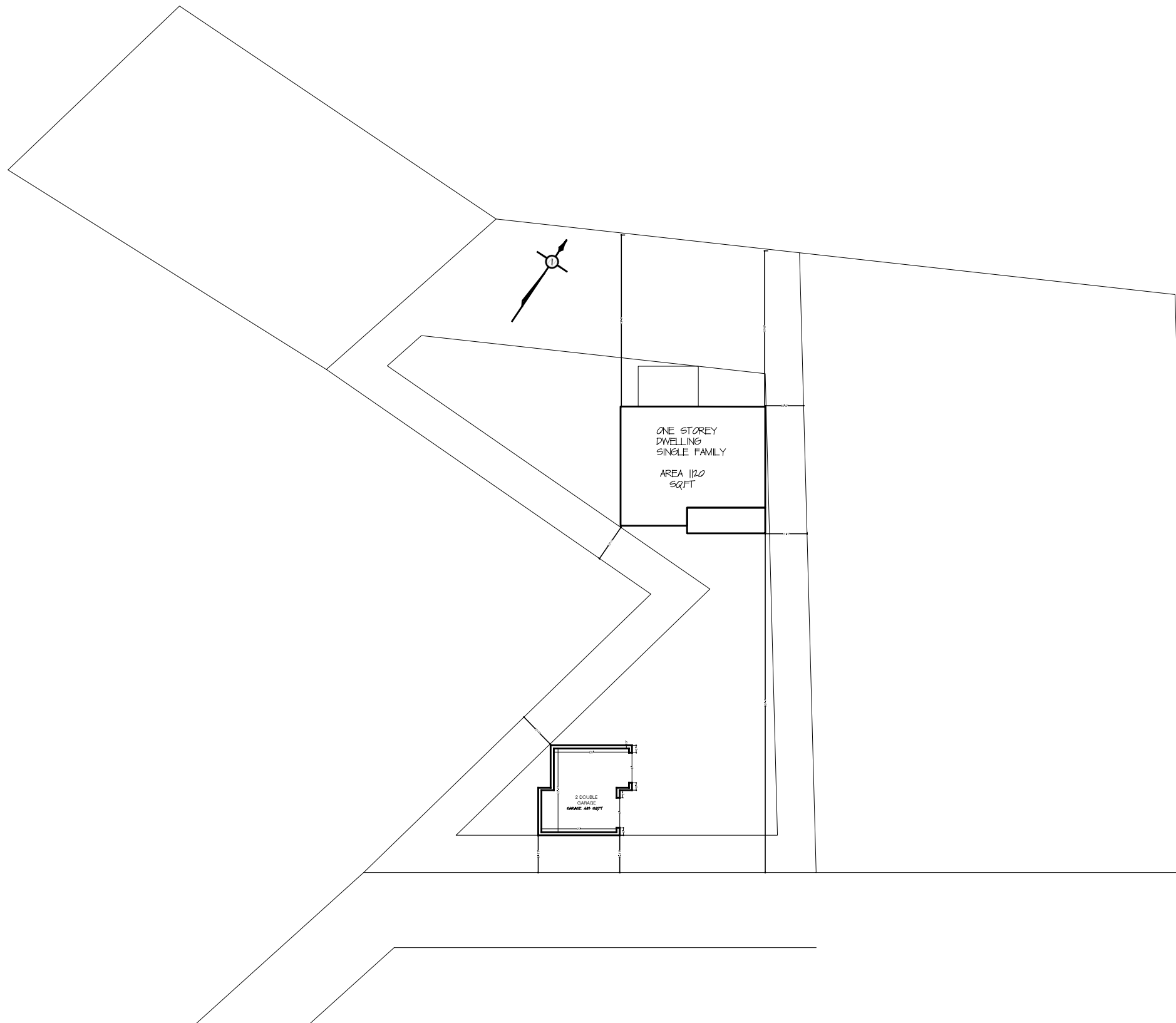


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Drawings Title:  
**GARAGE ELEV.**  
**A o6**  
Scale: 1/32"  
Date: May 9, 2016

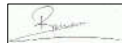
Project:  
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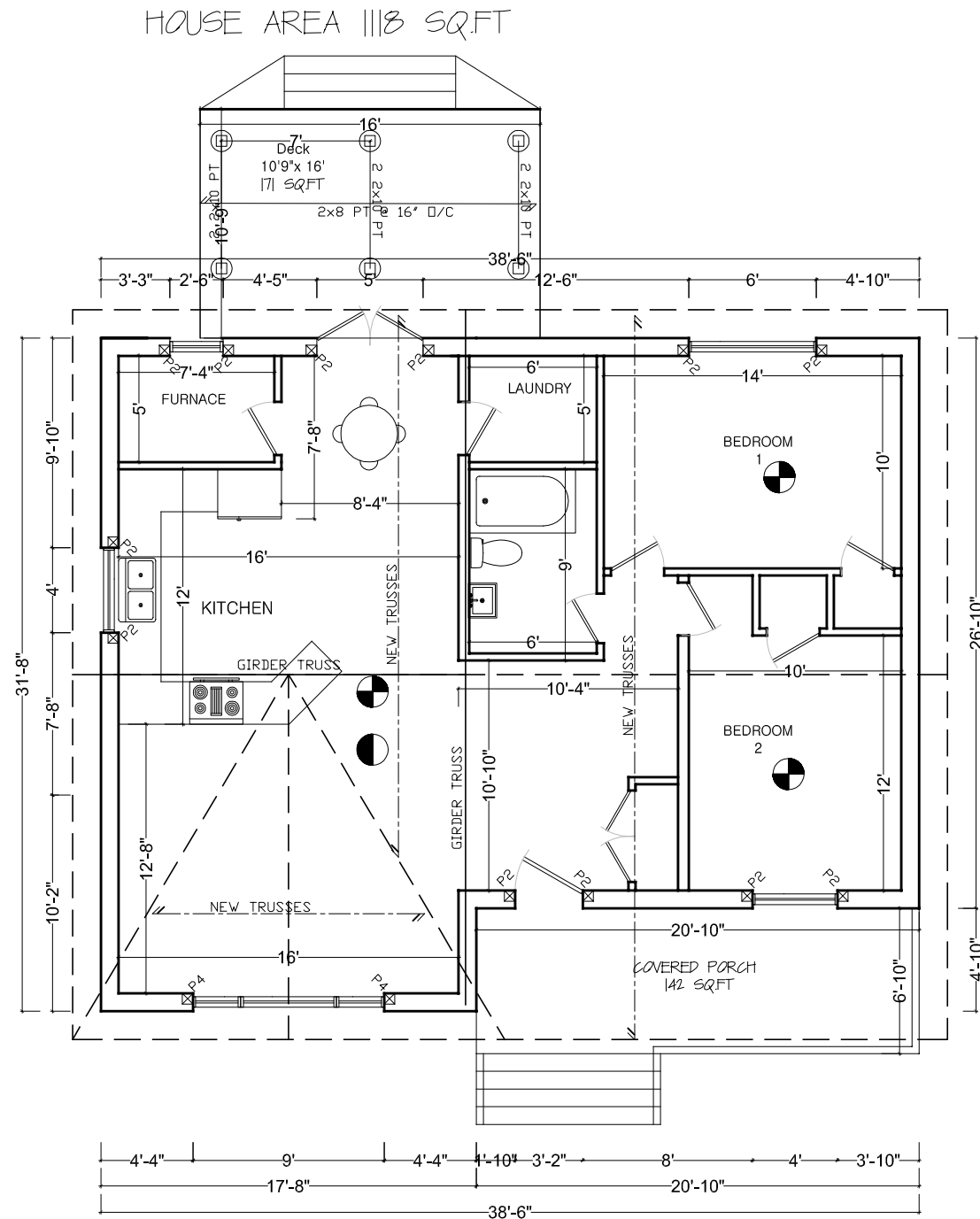
Drawings Title:  
**Grading**  
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 Lot: 107

No.	Date	Revision/Comment
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### SCHEDULES

WOOD LINTELS	WOOD BEAMS
L1 2-2X6	B1 4-2X8
L2 2-2X8	B2 3-2X10
L3 2-2X10	B3 4-2X10
L4 2-2X12	B4 2-9.25" LVL
L5 3-2X8	B5 2-9.25" LVL
L6 3-2X10	B6 1-11.92" LVL
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### COLUMNS/ POSTS

P2 2-2X6	P5 2-2X4
P3 3-2X6	P6 3-2X4
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C1 HSS 3.5"x3.5"x0.25"	12"
BRG.PL. 6" X 3/4" X 10" A.B. 2-5/8" DIA.	3"
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C3 HSS 5"x5"x1/4"	

Steel Post with 1/2" THK. steel plates providing Min. 5" Bearing

### STEEL LINTELS

WL1 3.5" X 3.5" X 1/4"
WL2 4" X 3.5" X 1/4"
WL3 5" X 3.5" X 5/16"

### STEEL PLATES

WP1 8" X 3/4" X 10" + 2-5/8" ANCH.BOLT	8" L2
WP2 8" X 3/4" X 11" + 2-5/8" ANCH.BOLT	

### CONCRETE FOOTINGS

F1 16" X 16" X 12" DEEP
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F4 48" X 48" X 24" DEEP 7-15 BEW

>STRIP FOOTINGS BELOW LOADBEARING WALLS TO HAVE A 6" PROJECTION & BE MINIMUM 8" DEPTH  
>ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL, OR ENGINEERED FILL CERTIFIED BY SOILS ENGINEER  
>MIN. SOIL BRG. CAPACITY = 2500 PSF TO BE VERIFIED BY SOILS ENGINEER

ENERGY EFFICIENCY COMPLIANCE  
STANDARD 90-12 2.11 TABLE 2.11.2A

NOTE:  
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ALL ELECTRICAL PANELS & COMPONENTS TO COMPLY WITH OBC 9.3.4

TYPICAL NON BEARING PARTITION  
2x4 STUDS @16" O.C. & SINGLE BOTTOM PLATE  
PROVIDE 1/2" DRYWALL

ALL INTERIOR DOORS SIZE  
36" WIDE FOR THE BATHROOM  
34" WIDE FOR FIRST FLOOR  
36" WIDE FOR SECOND FLOOR  
42" WIDE FOR CLOSET DOOR

WINDOWS TO COMPLY WITH OBC 9.7.2.1) CAN/CSA-A44.1

GLASS SKYLIGHTS TO BE COMPLY OBC 9.7.7.2) REQUIREMENTS OF CAN/CSA-B-63.14-M

### Drawing legend

	JOIST DIRECTION
	SMOKE ALARM
	CO DETECTOR
	FAN
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Drawings Title:

**FIRST FLOOR  
A 01**

Scale: 1/32"

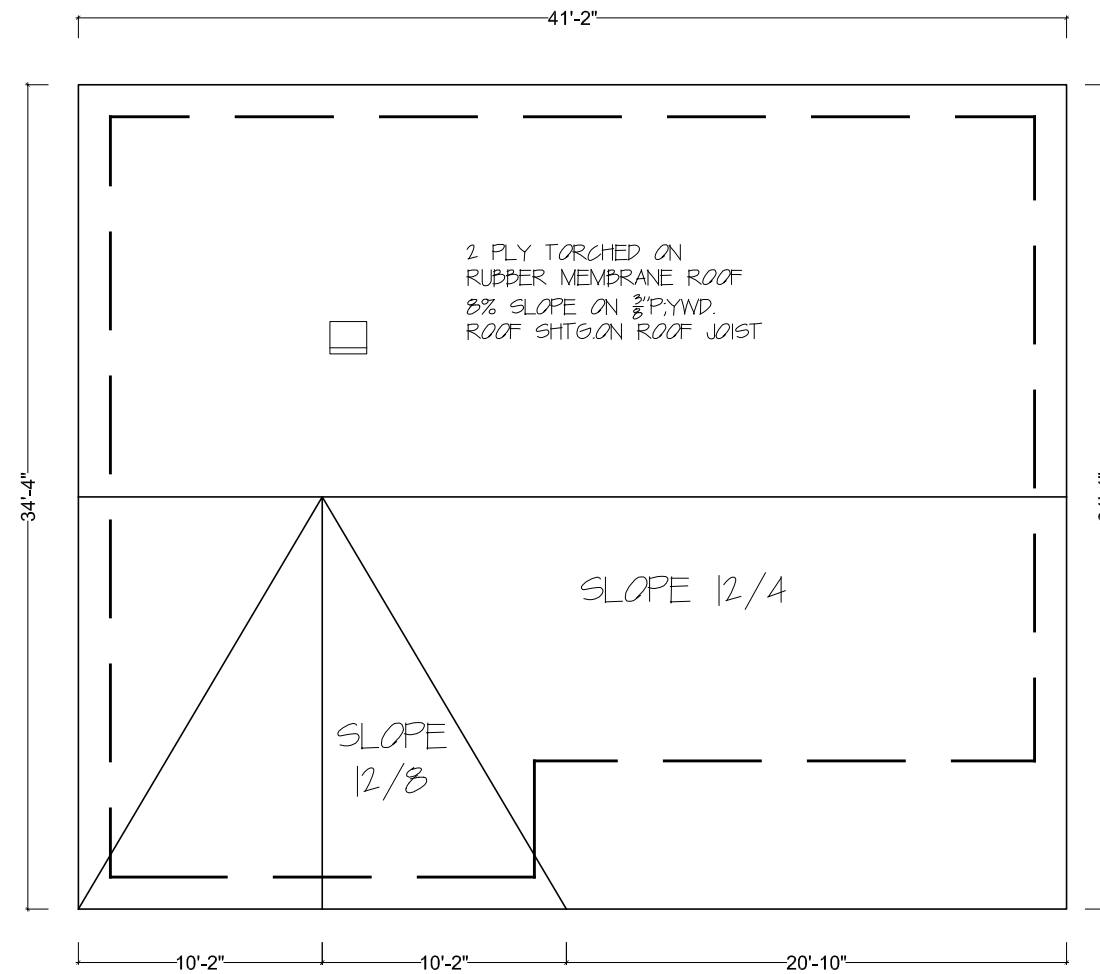
Date: May 9, 2016

Project:

**Keller Resident**

Address: 1029 bonfield st  
Plan Registered: CONCESSION A  
Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit



SCHEDULES	
WOOD LINTELS	WOOD BEAMS
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C2 HSS 4"X4"X0,312" BRG.PL. 10" X 3/4" X 10" A.B. 2-3/4"DIA.	12" 3"
C3 HSS 5"X5"X1/4"	
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STEEL LINTELS	
WL1 3,5" X 3,5" X 1/4"	
WL2 4" X 3,5" X 1/4"	
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STEEL PLATES	
WP1 8" X 3/4" X 10" + 2-5/8" ANCH.BOLT	8"   2"
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CONCRETE FOOTINGS	
F1 16" X 16" X 12" DEEP	
F2 30" X 30" X 16" DEEP	
F3 42" X 42" X 20" DEEP 6-15 BEW	
F4 48" X 48" X 24" DEEP 7-15 BEW	
>STRIP FOOTINGS BELOW LOADBearing WALLS TO HAVE A 6" PROJECTION & BE MINIMUM 6" DEPTH >ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL, OR ENGINEERED FILL CERTIFIED BY SOILS ENGINEER >MIN. SOIL BRG. CAPACITY = 2500 PSF TO BE VERIFIED BY SOILS ENGINEER	

ENERGY EFFICIENCY COMPLIANCE  
STANDARD 98-12 211 TABLE 2.11.2A

NOTE:  
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ALL ELECTRICAL PANELS & COMPONENTS TO COMPLY WITH OBC 9.3.4

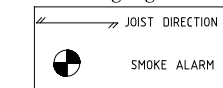
TYPICAL NON BEARING PARTITION  
2x4 STRIPS @ 20" C & SINGLE BOTTOM PLATE  
PROVIDE 1/2" STAY-IN-PLACE

ALL INTERIOR DOORS SIZE  
36" WIDE FOR THE GARAGE  
36" WIDE FOR FIRST FLOOR  
36" WIDE FOR SECOND FLOOR  
48" WIDE FOR CLOSET DOOR

WINDOWS TO COMPLY WITH OBC 9.7.2.1  
CAN/CSA-A44.1

GLASS SKYLIGHTS TO BE COMPLY (OBC. 9.7.2.2) REQUIREMENTS OF CAN/CSA-63.14-M

Drawing legend



The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code 2012 to be a designer.

Qualification information  
Required unless design is exempt under 3.2.4.1 of the building code.

Ramez Abunahla  
Name: Signature Designer BCIN# 34339

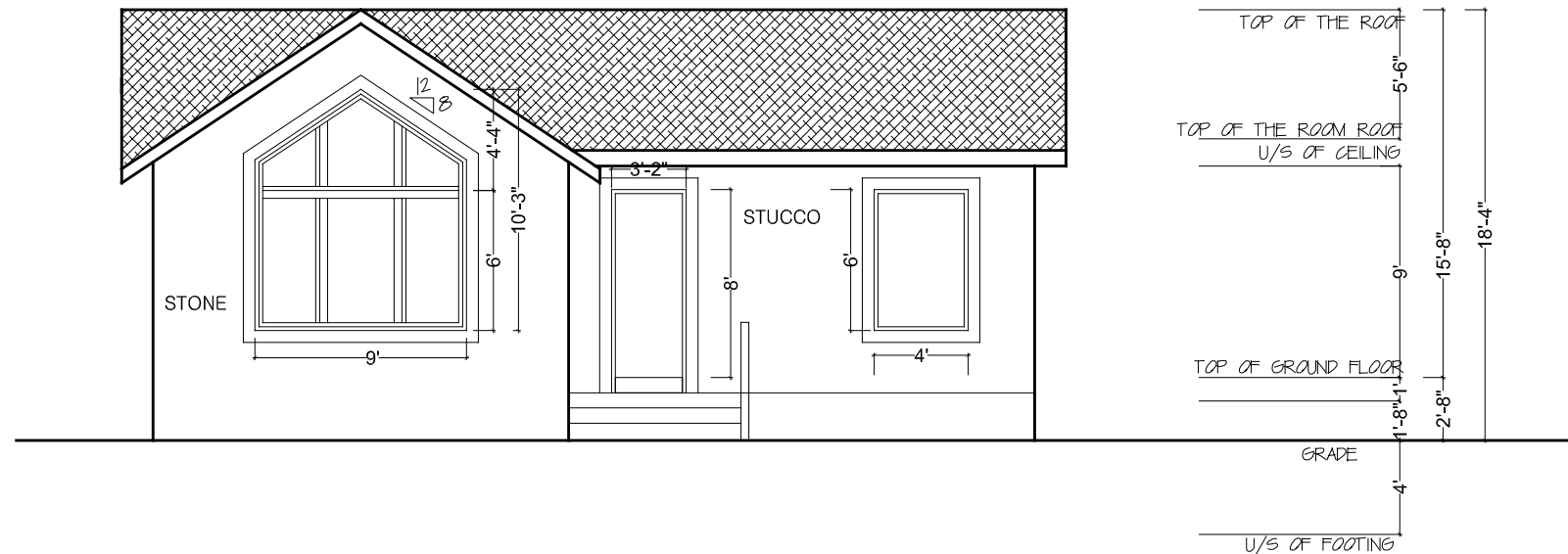
All Code references refer to Division 'B' of O.B.C 2012  
Antara BCIN#: 39389

1051 Seneca Ave, Mississauga  
Tel: 416-602-9367  
antaradesignbuild@yahoo.ca  
www.antaradesignbuild.com

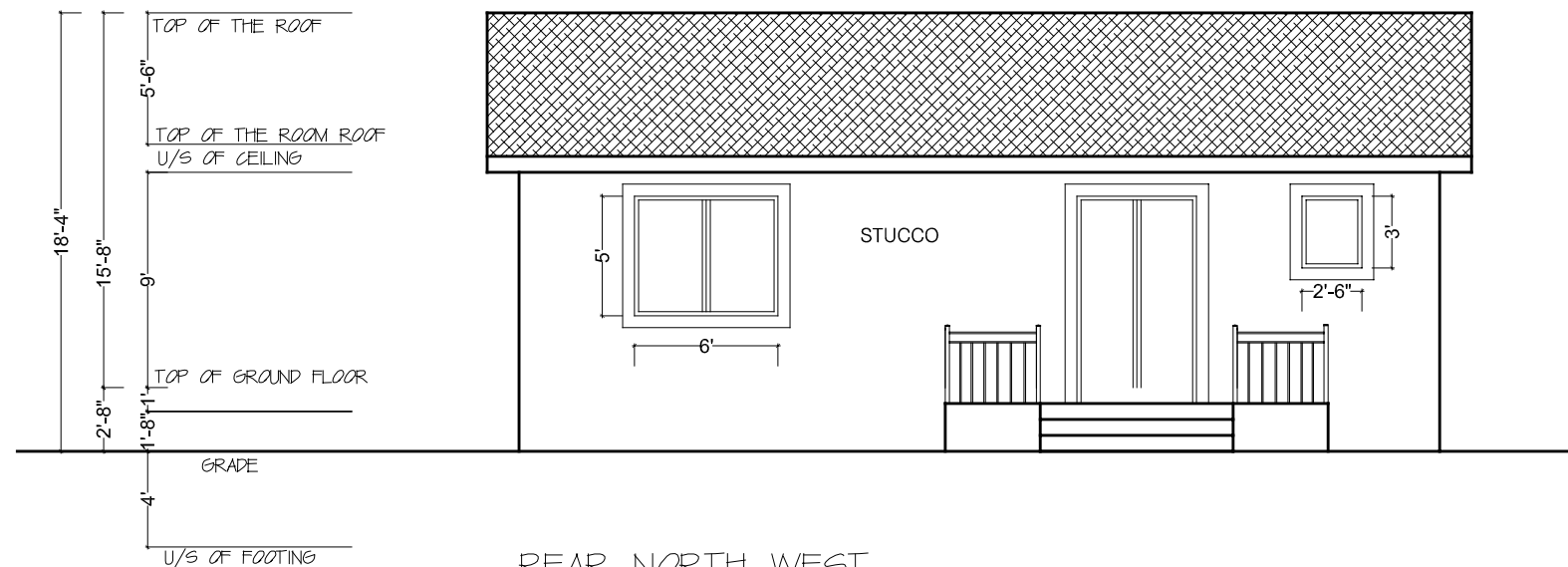
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**FIRST FLOOR  
A 02**  
Scale: 1/32"  
Date: May 9, 2016

Project:  
**Keller Resident**  
Address: 1029 bonfield st  
Plan Registered: CONCESSION A  
Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit



SOUTH EAST ELEVATION



REAR NORTH WEST ELEVATION

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Qualification information Required unless design is exempt under 3.2.4.1 of the building code.

Ramez Abunahla  
Name: Signature Designer BCIN# 34339

All Code references refer to Division 'B' of O.B.C 2012

Antara BCIN#: 39389



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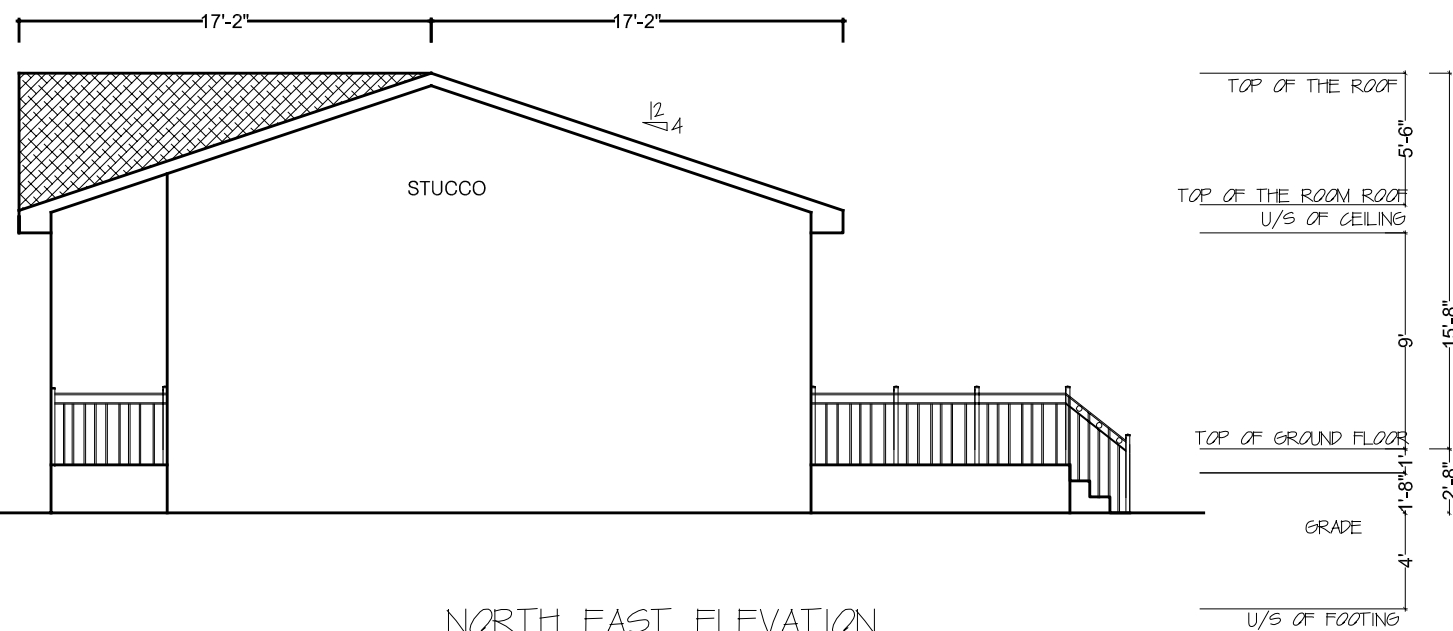
Drawings Title:  
**FRONT & REAR ELEV.**  
**A 03**

Scale: 1/32"  
Date: May 9, 2016

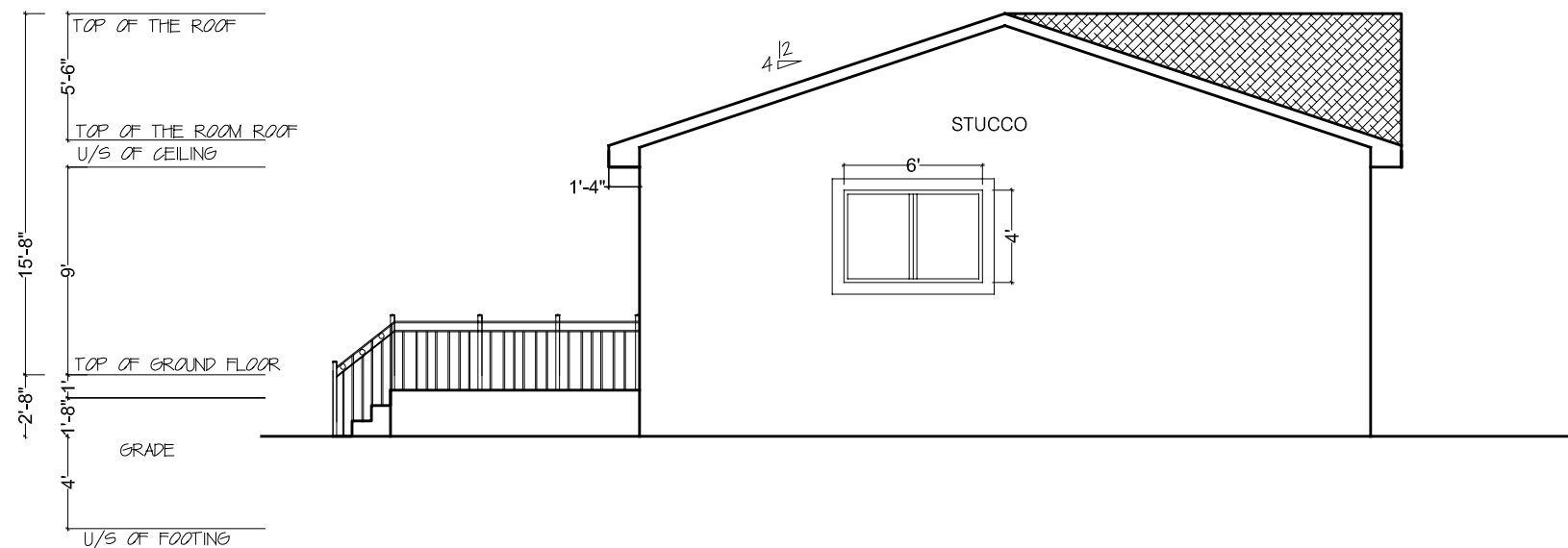
Project:  
**Keller Resident**

Address: 1029 bonfield st  
Plan Registered: CONCESSION A  
Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit



NORTH EAST ELEVATION



SOUTH WEST ELEVATION

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Qualification information  
Required unless design is exempt under 3.2.4.1 of the building code.

Ramez Abunahla  
Name: Signature Designer BCIN# 34339

All Code references refer to Division 'B' of O.B.C 2012  
Antara BCIN#: 39389

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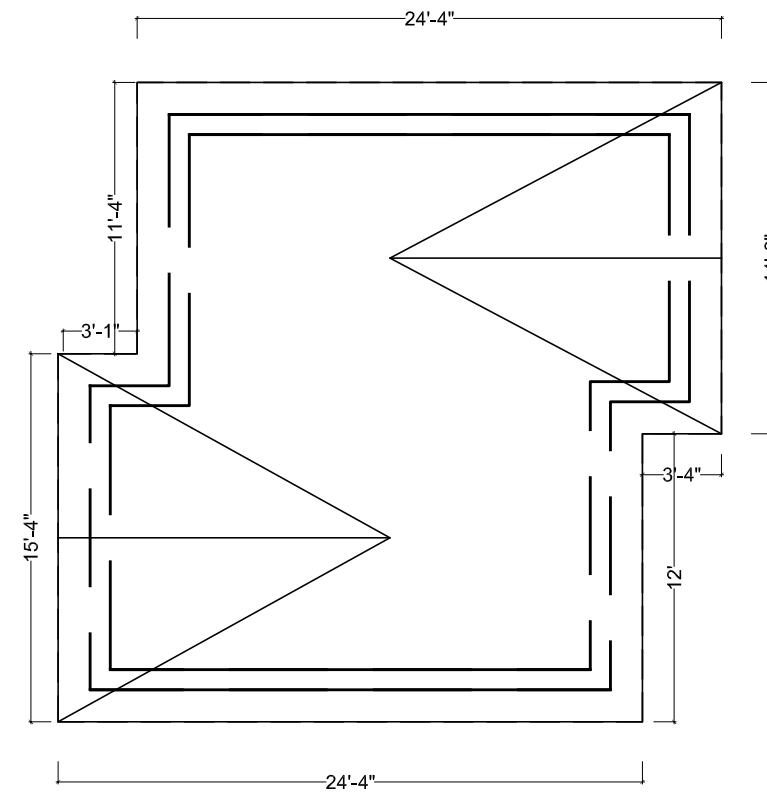
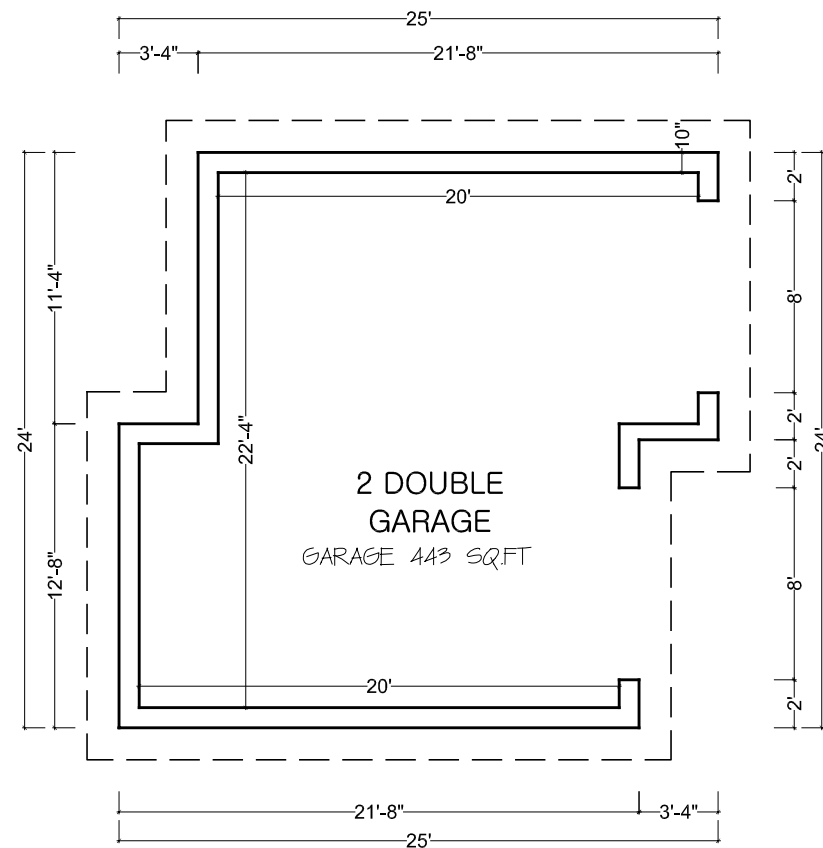
Drawings Title:  
**SIDES ELEVATIONS**  
**A 04**

Scale: 1/32"  
Date: May 9, 2016

Project:  
**Keller Resident**

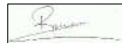
Address: 1029 bonfield st  
Plan Registered: CONCESSION A  
Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit



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Qualification information  
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Ramez Abunahla  34339  
 Name: Signature Designer BCIN#

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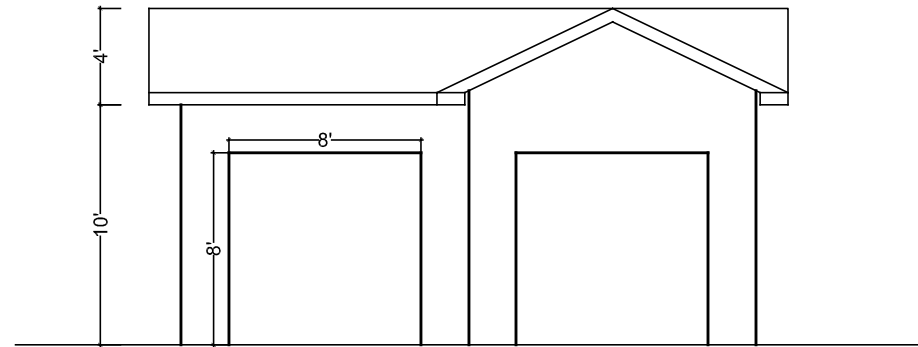
Drawings Title:  
**GARAGE PLAN  
 A 05**

Scale: 1/32"  
 Date: May 9, 2016

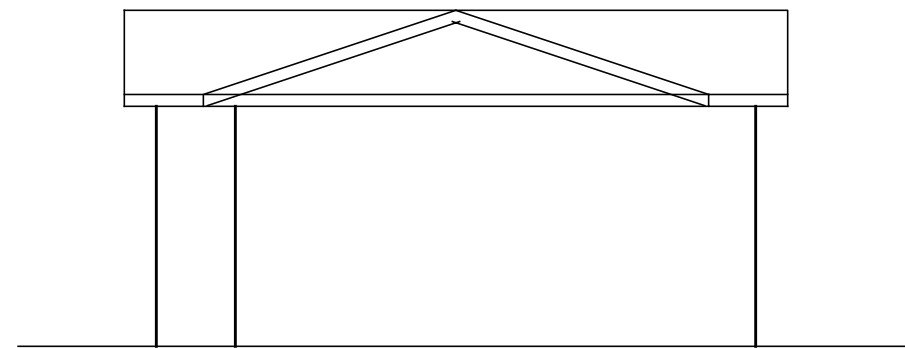
Project:  
**Keller Resident**

Address: 1029 bonfield st  
 Plan Registered: CONCESSION A  
 Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit



WEST ELEVATION



EAST ELEVATION

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Qualification information  
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Ramez Abunahla  34339  
Name: Signature Designer BCIN#

All Code references refer to Division 'B' of O.B.C. 2012  
Antara BCIN#: 39389



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Drawings Title:  
**GARAGE ELEV.**  
**A o6**

Scale: 1/32"  
Date: May 9, 2016

Project:  
**Keller Resident**

Address: 1029 bonfield st  
Plan Registered: CONCESSION A  
Lot: 107

No.	Date	Revision/Comment
1	JUNE 19, 2016	building permit